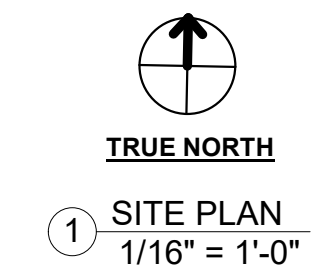
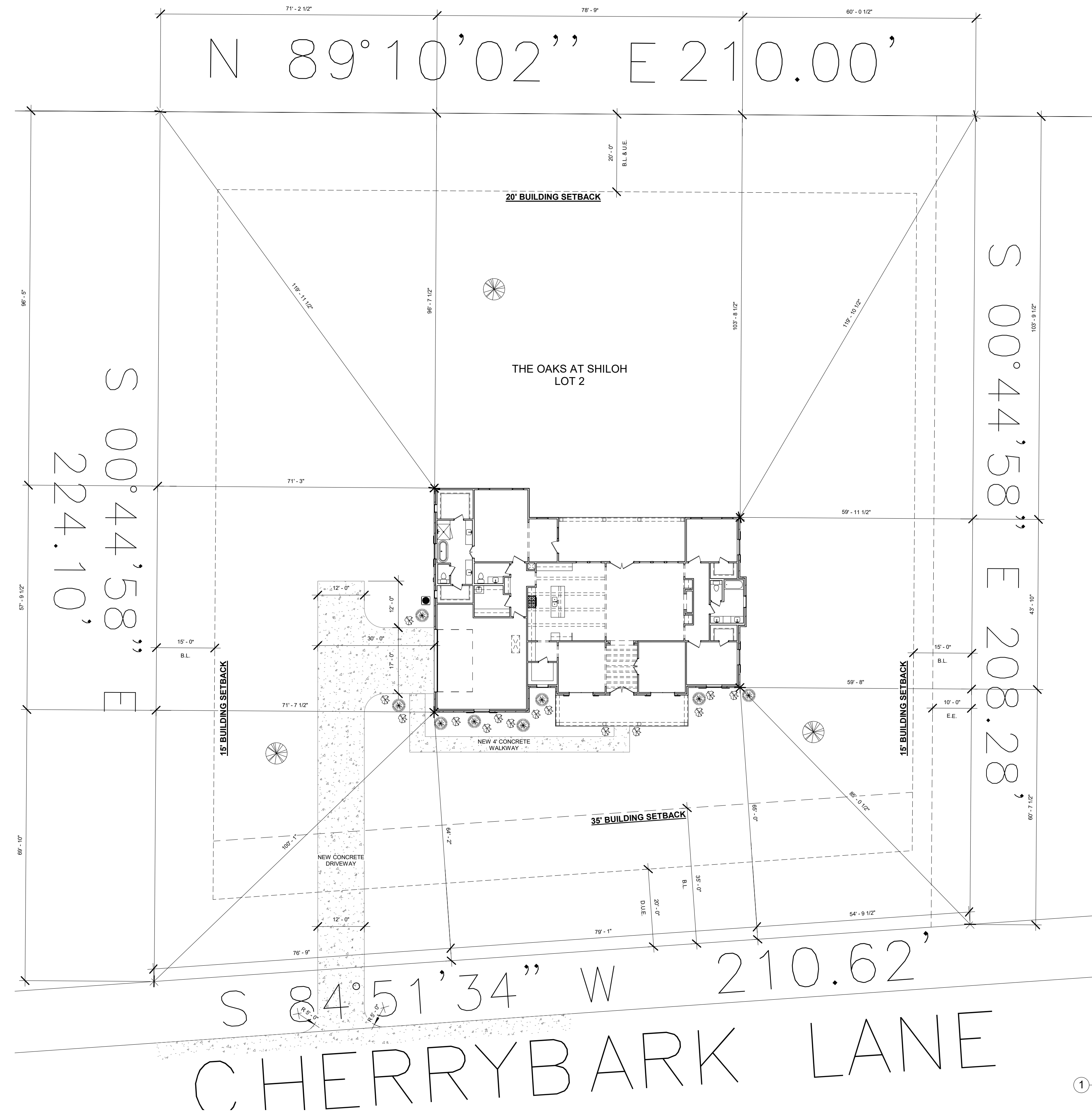




LANDSCAPE LEGEND	
DESCRIPTION	SYMBOL
2" CALIPER POST OAK	
5 GALLON BOX WOOD	
5 GALLON DWAFB BURFORD HOLLY	

GENERAL PLAN NOTES:
 1.) LOT DRAINAGE TO COMPLY WITH THE INTERNATIONAL RESIDENTIAL CODE.
 2.) BUILDING AREA TO BE CLEARED OF ALL HUMUS, ROOTS, AND VEGETATION. CUT STUMPS A MINIMUM OF 8" BELOW GRADE AND 4" BELOW BEAMS.

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8TH & MAIN

3617 Cherrybark Lane
 The Oaks at Shiloh
 Lot 2
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ISSUE FOR PERMIT
 April 12, 2023



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Title
SITE PLAN

Sheet
A-001



WINDOW SCHEDULE				
WINDOW TYPE	WIDTH	HEIGHT	TYPE	HEAD HEIGHT
A	2'-0"	4'-0"	FIXED ARCH TOP	8'-0"
B	3'-0"	6'-0"	SINGLE-HUNG	8'-0"
D	6'-0"	1'-6"	FIXED	9'-6"
E	3'-0"	4'-0"	FIXED ARCH TOP	8'-0"
F	3'-0"	4'-0"	FIXED ARCH TOP	8'-0"
G	4'-0"	1'-0"	FIXED	8'-0"
H	3'-0"	5'-0"	FIXED	8'-0"
I	4'-0"	5'-0"	SINGLE-HUNG	8'-0"
J	2'-6"	3'-6"	FIXED ARCH TOP	19'-0"
K	2'-6"	3'-6"	FIXED ARCH TOP	17'-6"

NOTE:
ALL WINDOWS ARE VINYL WITH LOW-E GLASS, DOUBLE GLAZED, R-VALUE TO MEET CODE.

DOOR SCHEDULE				
NUMBER	WIDTH	HEIGHT	HINGE	TYPE
1	6'-0"	8'-0"	RIGHT/LEFT	EXT. FULL LITE DOUBLE
2	6'-0"	8'-0"	FIXED	EXT. FULL LITE DOUBLE
3	6'-0"	8'-0"	FIXED	EXT. FULL LITE DOUBLE
4	4'-0"	8'-0"	RIGHT/LEFT	HOLLOW CORE DOUBLE
5	2'-4"	8'-0"	LEFT	HOLLOW CORE
6	2'-8"	8'-0"	RIGHT	EXT. SOLID CORE
7	16'-0"	8'-0"	OVERHEAD	GARAGE
8	2'-8"	8'-0"	RIGHT	SOLID CORE
9	2'-4"	8'-0"	RIGHT	SOLID CORE
10	3'-0"	8'-0"	RIGHT	SOLID CORE
11	3'-0"	8'-0"	LEFT	EXT. FULL LITE
12	3'-0"	8'-0"	RIGHT/LEFT	HOLLOW CORE DOUBLE
13	2'-4"	8'-0"	LEFT	HOLLOW CORE
14	2'-4"	8'-0"	RIGHT	HOLLOW CORE
15	2'-4"	8'-0"	RIGHT	HOLLOW CORE
16	6'-0"	8'-0"	RIGHT/LEFT	EXT. FULL LITE DOUBLE
17	3'-0"	8'-0"	RIGHT	HOLLOW CORE
18	2'-4"	8'-0"	LEFT	HOLLOW CORE
19	2'-4"	8'-0"	LEFT	HOLLOW CORE
20	2'-4"	8'-0"	RIGHT	HOLLOW CORE
21	3'-0"	8'-0"	LEFT	HOLLOW CORE
22	2'-4"	8'-0"	RIGHT	HOLLOW CORE
AA	10'-0"	8'-0"		CASED OPENING
BB	6'-0"	8'-0"		BRICK ARCH
CC	3'-0"	8'-0"		CASED OPENING
DD	3'-0"	8'-0"		CASED OPENING
EE	3'-0"	8'-0"		CASED OPENING
FF	9'-0"	8'-0"		CASED OPENING
GG	3'-0"	8'-0"		CASED OPENING
HH	3'-0"	8'-0"		CASED OPENING
II	18'-0"	8'-0"		CASED OPENING

ABBREVIATIONS:
DW EB ARCH - DRY WALL EYEBROW ARCH.
EXT - EXTERIOR

GENERAL PLAN NOTES:

- 1) GLAZING IN HAZARDOUS LOCATIONS SHALL MEET REQUIREMENT OF IRC CODE SECTION R308.4, WHICH SHALL BE VERIFIED BY INSPECTOR IN FIELD.
- 2) ALL SLEEPING ROOM EGRESS WINDOWS ARE TO MEET THE REQUIREMENTS OF SECTION R310 AND WILL BE FIELD VERIFIED.
- 3) CASED DOOR OPENINGS PER BUILDER SPEC.
- 4) UPPER CABINETS IN KITCHEN PER OWNER SPEC.
- 5) UPPER CABINETS IN UTILITY PER OWNER SPEC.
- 6) TILE SHOWER WITH GLASS SURROUND UNLESS NOTED OTHERWISE.
- 7) UPPER CABINETS ABOVE TOILETS PER OWNER SPEC.
- 8) CLOSET SHELVES PER OWNER SPEC.
- 9) ALL WALLS ARE DIMENSIONED 4" NOMINAL, BRICK 5" NOMINAL.
- 10) PROVIDE 3/8" WATER LINE TO REFRIGERATOR.
- 11) ALL WATER HEATERS ARE TO BE 18" A.F.F.
- 12) AIR CONDITIONER CONDENSER MUST BE 3" ABOVE GRADE.
- 13) IN ABSENCE OF STRUCTURAL ENGINEER PREPARED BY BUILDER, USE TABLE R602.3 IN THE INTERNATIONAL RESIDENTIAL CODE.
- 14) REFER TO ENGINEER DRAWINGS FOR ALL FOUNDATIONS.
- 15) CHECK PLANS FOR LEVEL CHANGES, FLOOR OUTLETS, AND PLUMBING FIXTURE LOCATIONS.

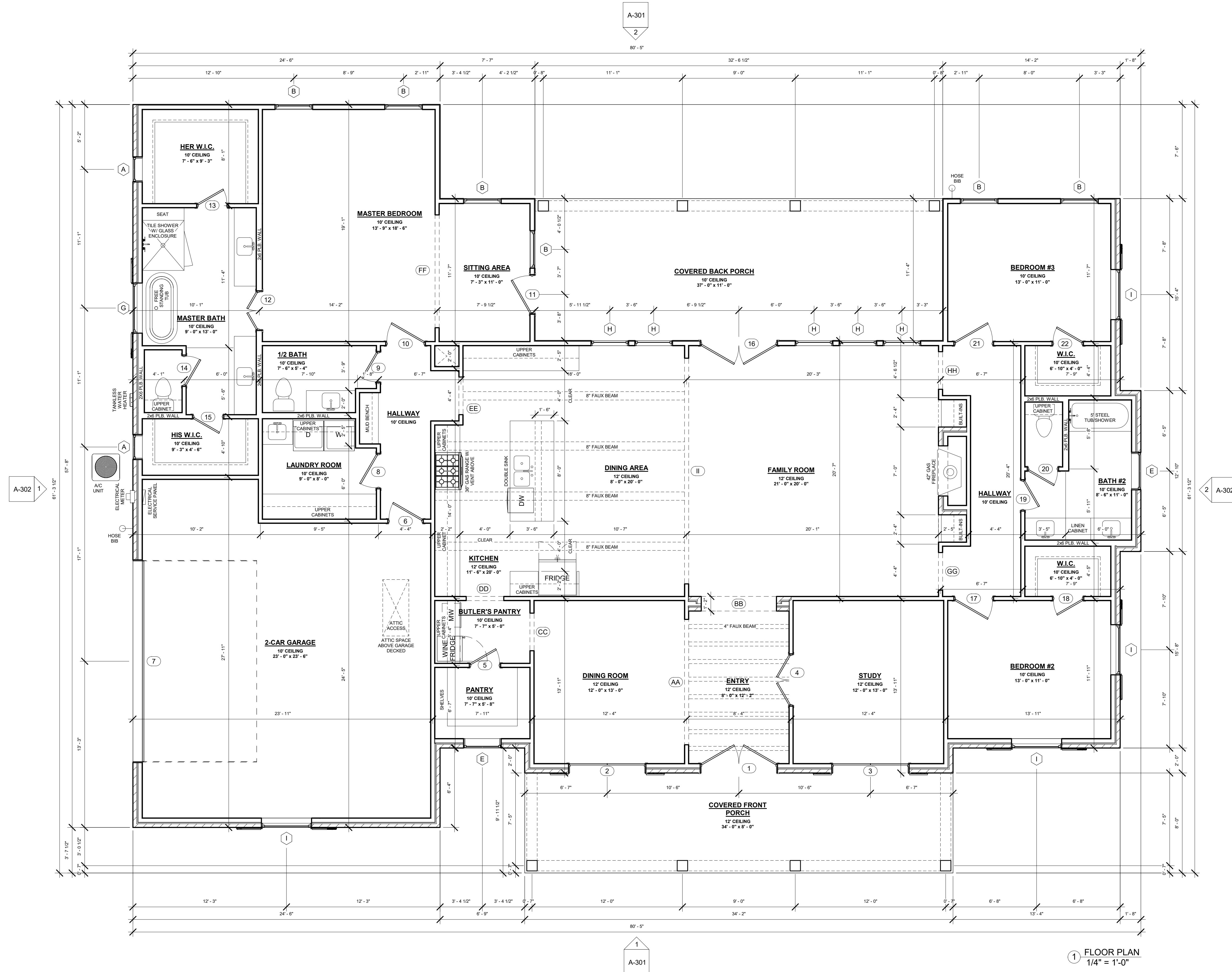
AREA TOTALS

LIVING AREA	2861 SF
2-CAR GARAGE	630 SF
COVERED FRONT PORCH	273 SF
COVERED BACK PORCH	369 SF
FOUNDATION	4133 SF

TOTAL UNDER ROOF: 4,133

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1 FLOOR PLAN
1/4" = 1'-0"

8TH & MAIN

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April 12, 2023



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Title
FLOOR PLAN

Sheet
A-101



A-301
2

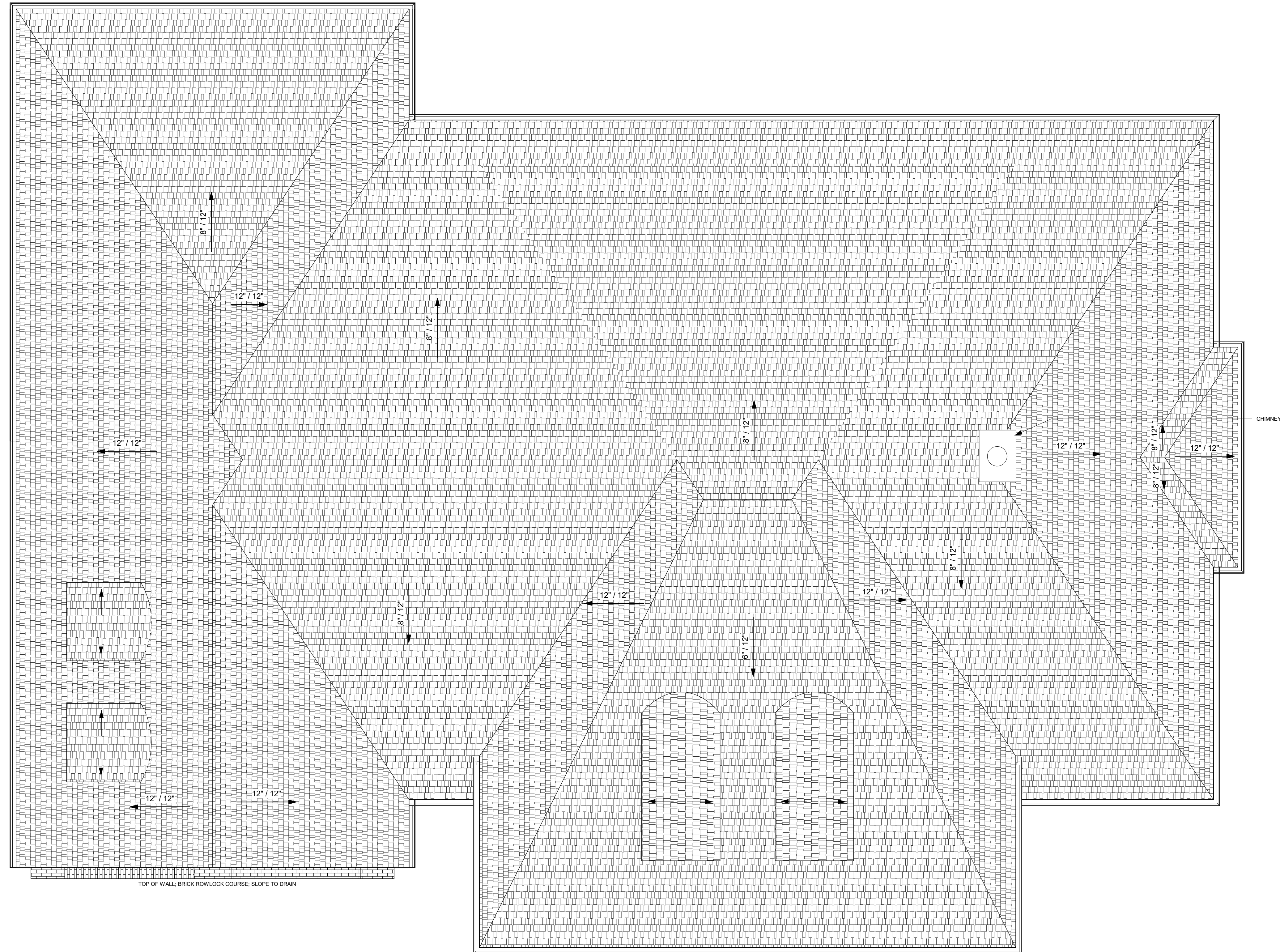
A-302
1

A-302
2

ROOF LEGEND	
SYMBOL	DESCRIPTION
	30 YEAR ASPHALT COMPOSITION SHINGLE ROOF
	METAL GUTTER
	METAL ROOF

GENERAL PLAN NOTES:

- 1.) NO VENT STACKS AND PENETRATIONS TO BE LOCATED ON THE FRONT OF THE HOUSE AND VISABLE FROM THE STREET.
- 2.) VENT STACKS AND PENETRATION TO BE PAINTED TO MATCH ROOF COLOR.
- 3.) GUTTERS TO BE PAINTED TO MATCH EXTERIOR TRIM.



TOP OF WALL BRICK ROWLOCK COURSE; SLOPE TO DRAIN

1
A-301

1 ROOF PLAN
1/4" = 1'-0"

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ROOF PLAN

Sheet
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8TH & MAIN

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04/12/2023

Title
ELECTRICAL PLAN

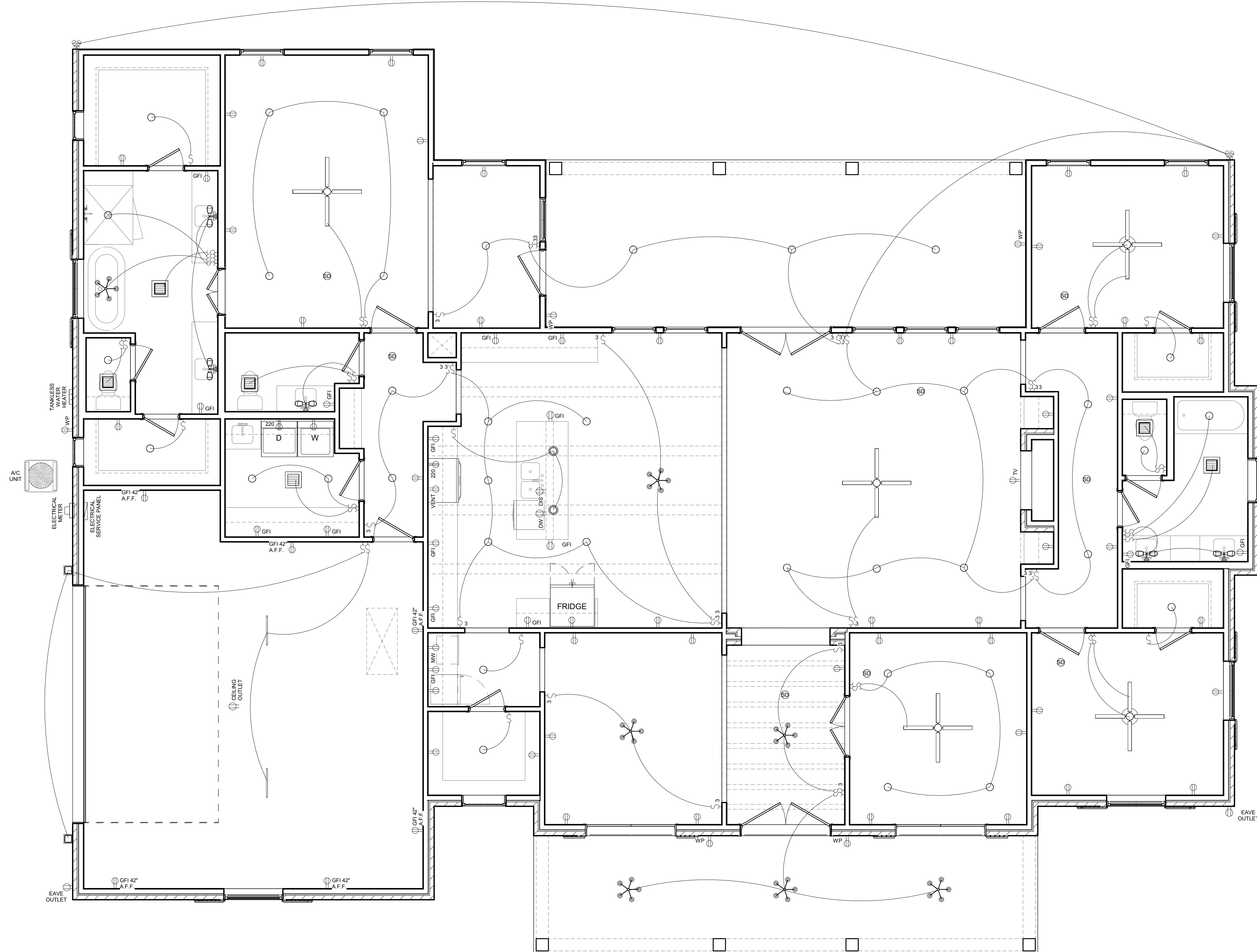
Sheet
A-241

- GENERAL ELECTRICAL NOTES:**
- 1) VERIFY ALL EXTERIOR ELECTRICAL, FLOOR PLUGS, PHONE & TV JACKS, SECURITY & SOUND SYSTEM WIRING WITH OWNER PRIOR TO CONSTRUCTION PROJECT.
 - 2) INSTALL ARC FAULT CIRCUIT INTERRUPTER PROTECTION FOR ALL SLEEPING ROOMS.
 - 3) DEDICATED CIRCUITS FOR ALL APPLIANCES.
 - 4) PROVIDE SWITCHED LIGHTING & 110 VOLT RECEPTACLE IN ATTIC @ MECHANICAL PLATFORM.
 - 5) PLANS MUST COMPLY WITH CURRENT CITY ADOPTED ELECTRICAL CODE.

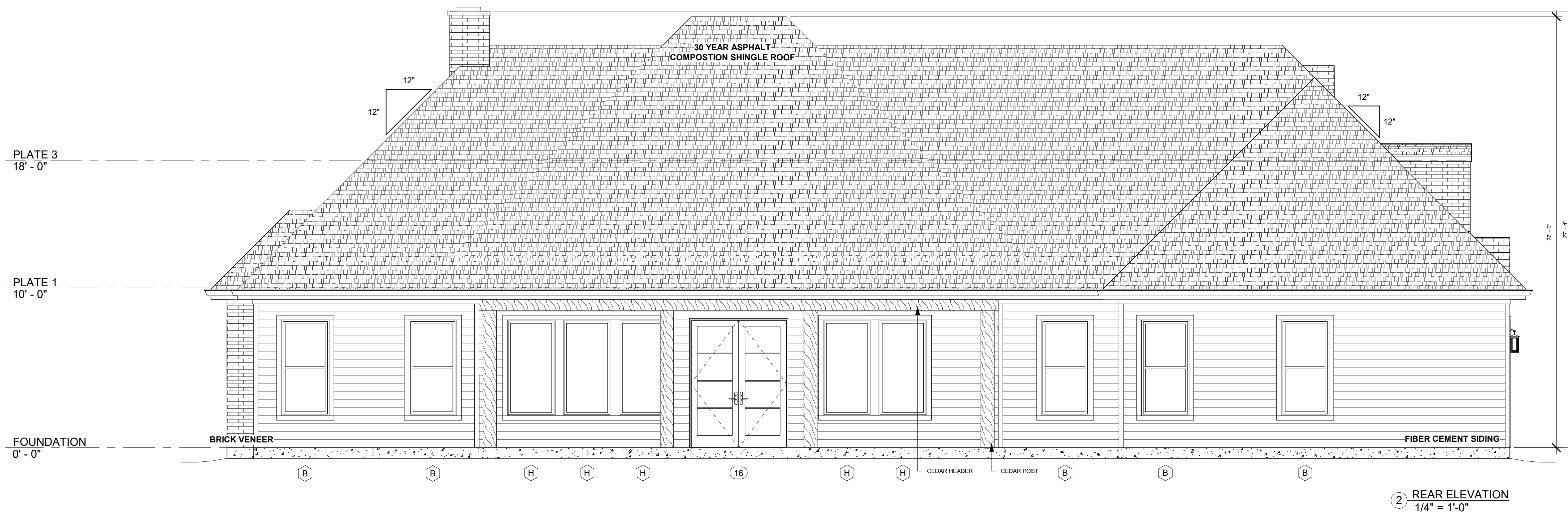
ELECTRICAL SYMBOLS

	SWITCH		LED 6" RECESSED CAN LIGHT
	3-WAY SWITCH		SURFACE MOUNT LIGHT
	DUPLEX RECEPTACLE		LED WALL MOUNT SCOSCE
	GROUND FAULT CIRCUIT INTERRUPTER DUPLEX RECEPTACLE		SINGLE WALL SCOSCE
	220 VOLT DUPLEX RECEPTACLE		FLOOD LIGHT
	WEATHER PROOF DUPLEX RECEPTACLE		LED UPLIGHT
	42" ABOVE FINISH FLOOR		EXTERIOR SCOSCES
	FLOOR DUPLEX RECEPTACLE		EXTERIOR GOOSENECK LIGHT
	ELECTRICAL PANEL		LED CHANDELIER
	ELECTRICAL METER		CEILING FAN
	SMOKE/CARBON MONOXIDE DETECTOR COMBO		CEILING FAN WITH LIGHT KIT
	EXHAUST FAN		
	LED STRIP LIGHT		
	LED PENDANT LIGHT		

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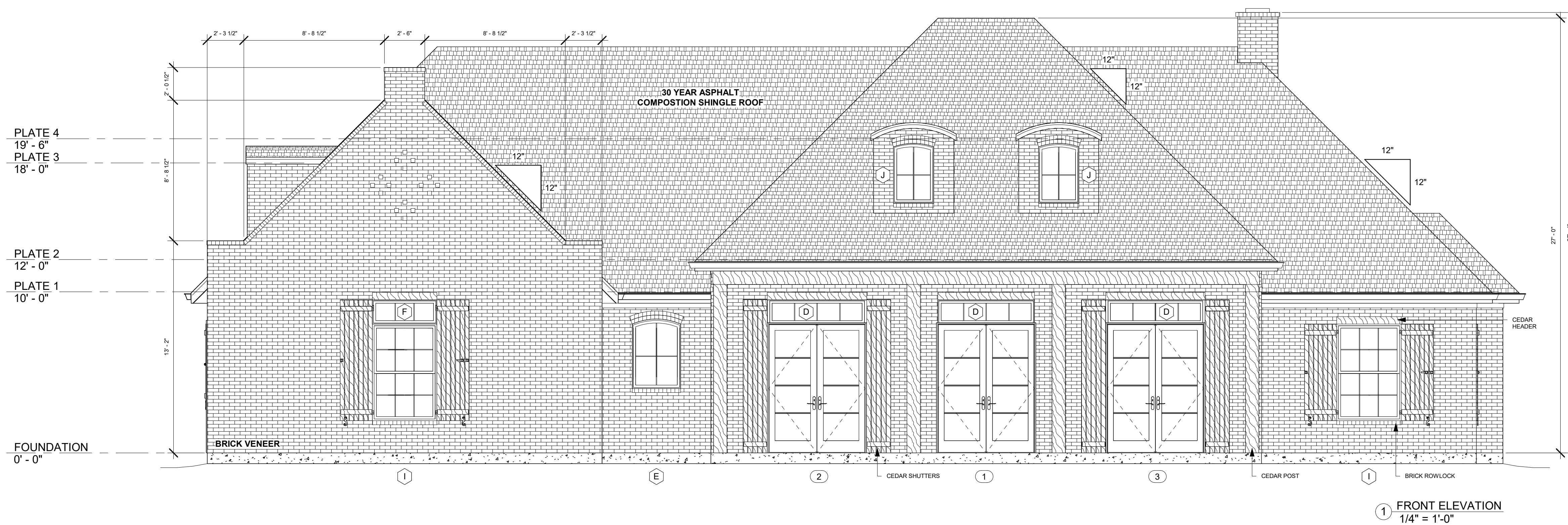


1 ELECTRICAL PLAN
1/4" = 1'-0"



GENERAL NOTES:

1.) REFER TO DOOR AND WINDOW SCHEDULE ON SHEET A-101.



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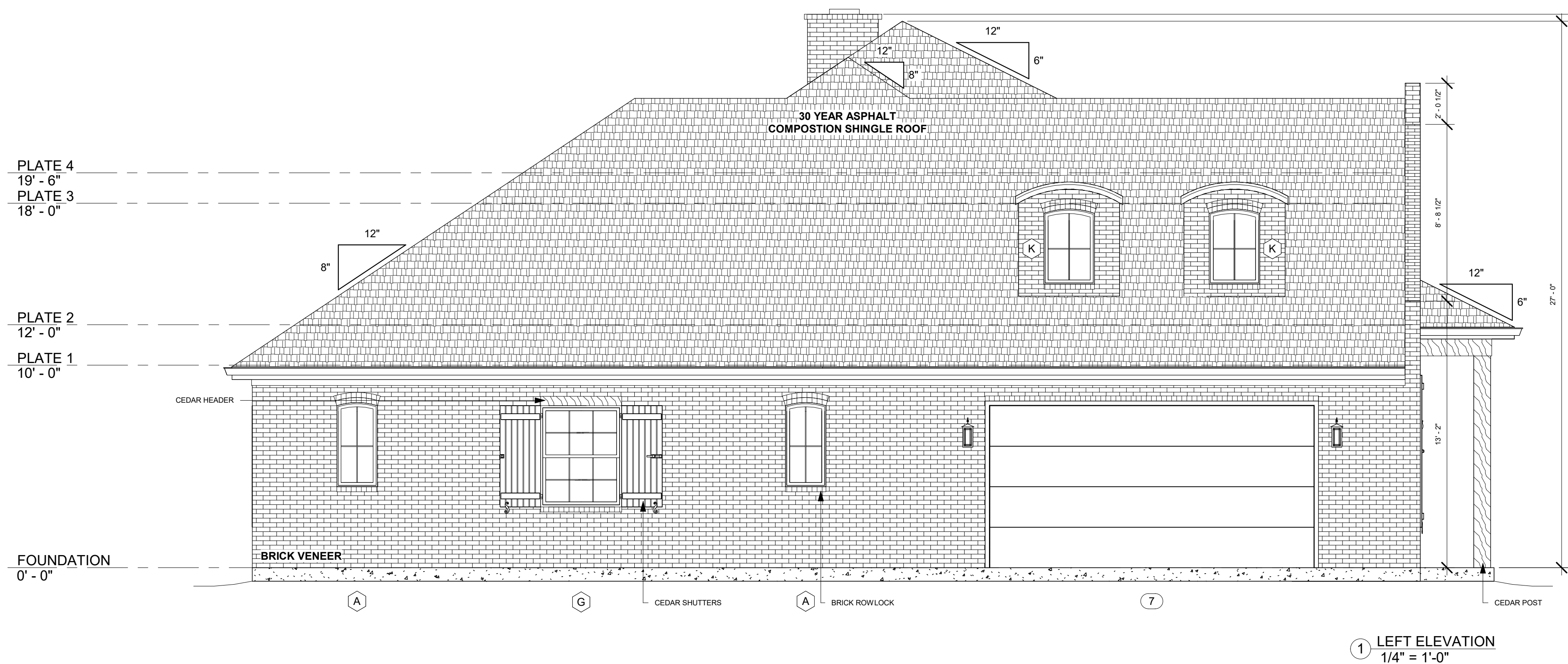
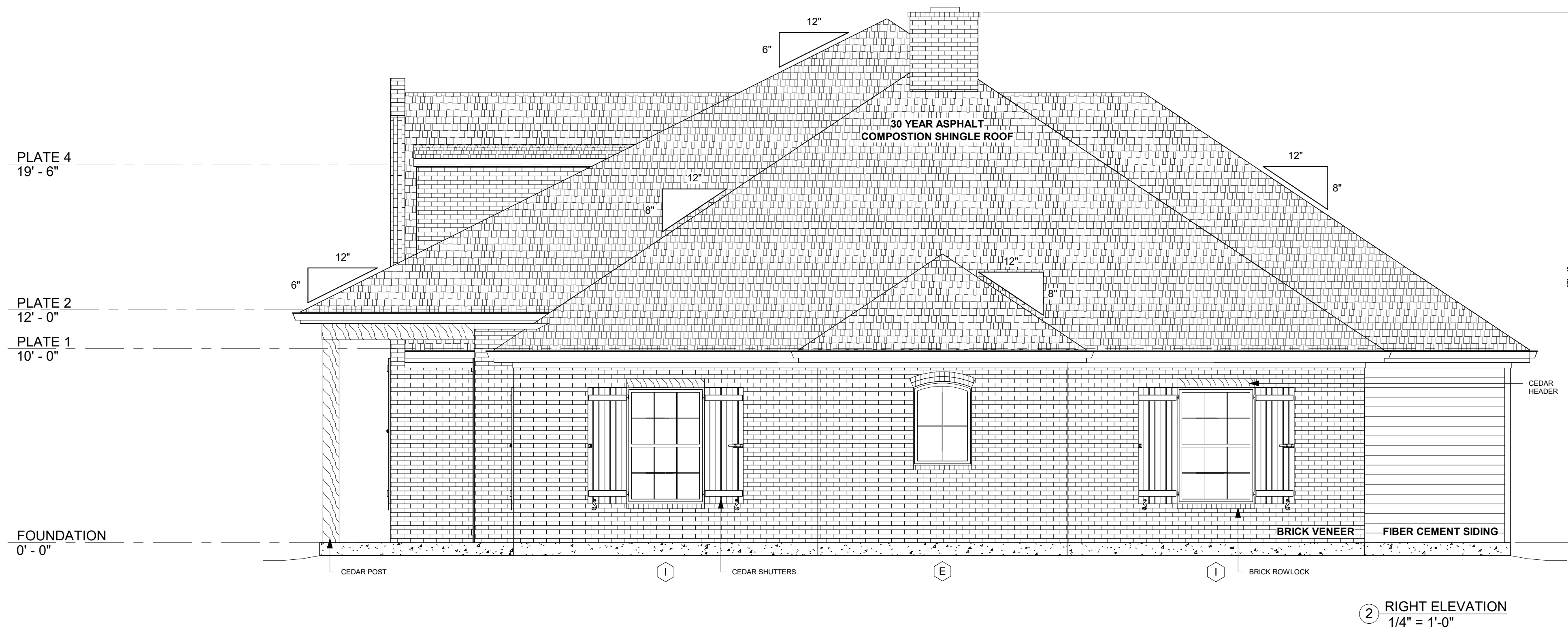
ISSUE FOR PERMIT
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04/12/2023

Title
ELEVATIONS

Sheet
A-301



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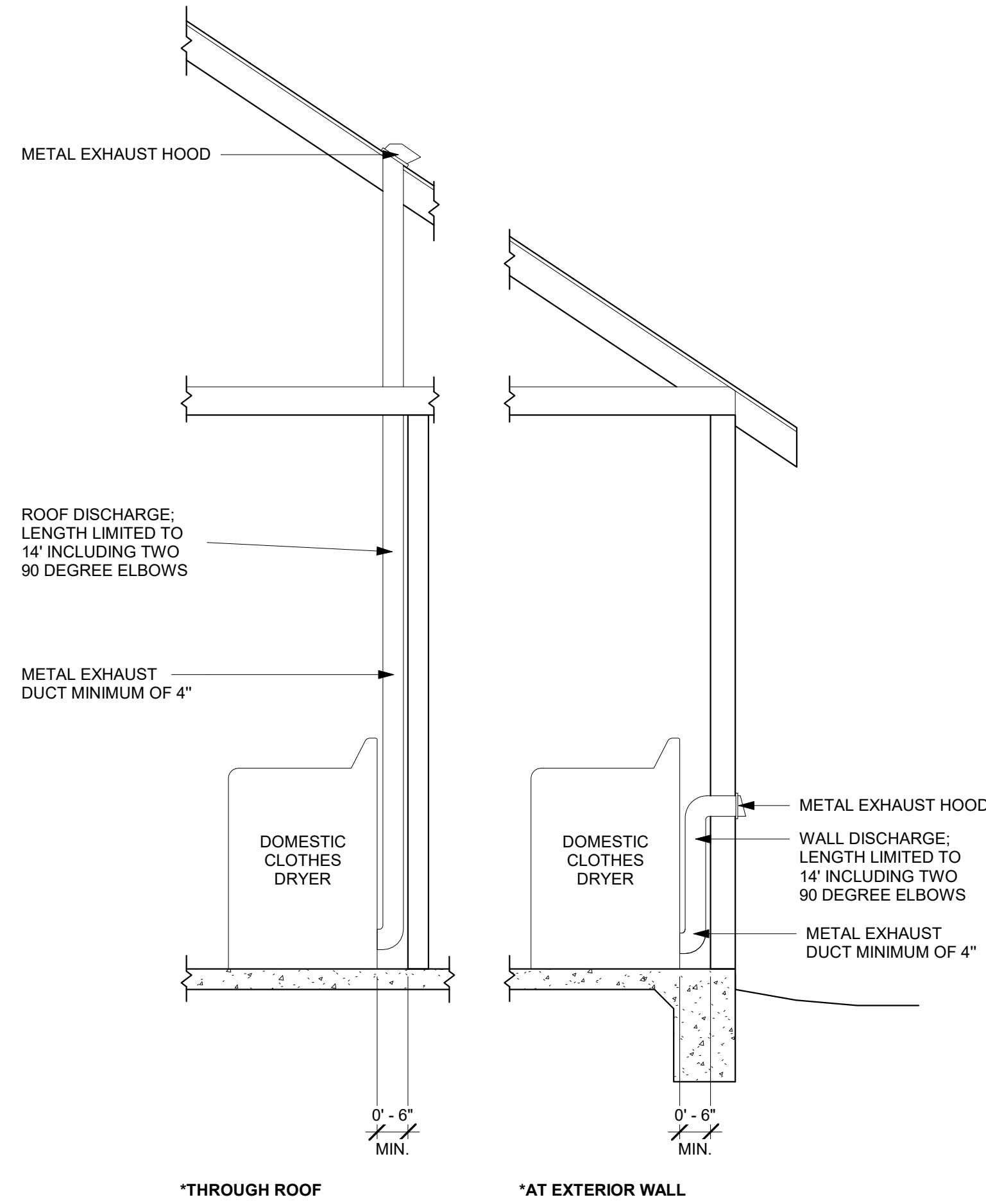
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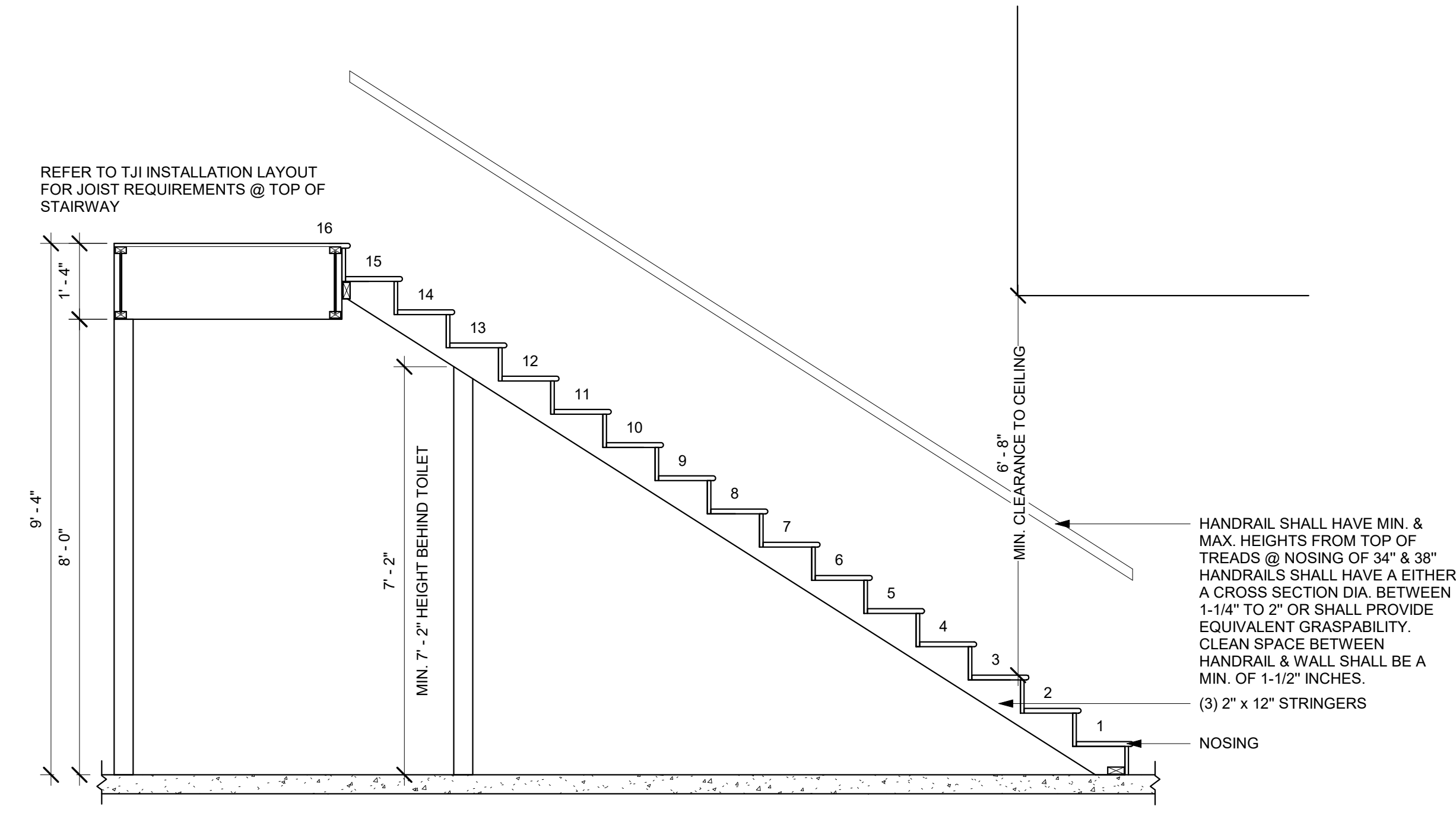
04/12/2023

Title
ELEVATIONS

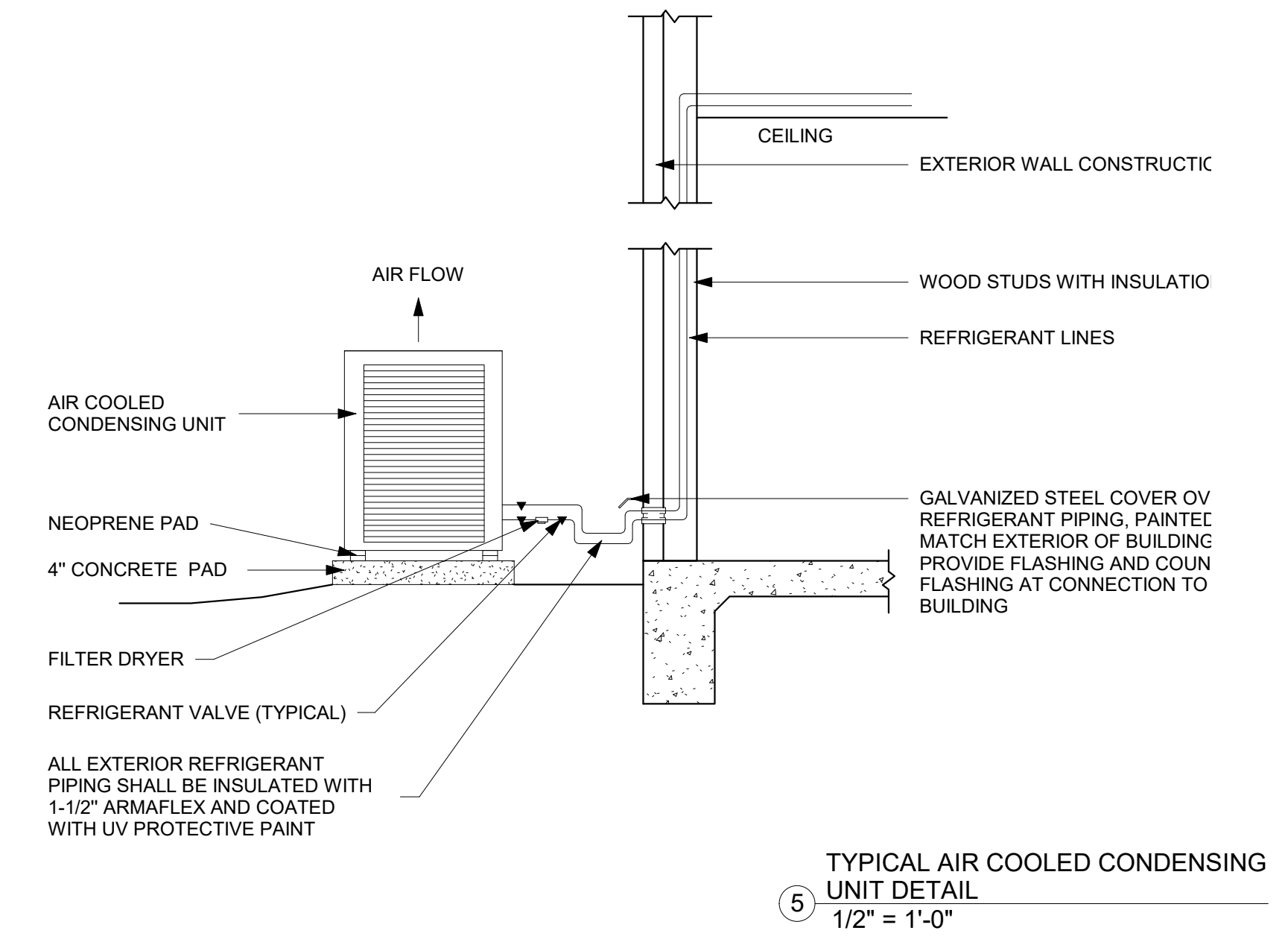
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A-302



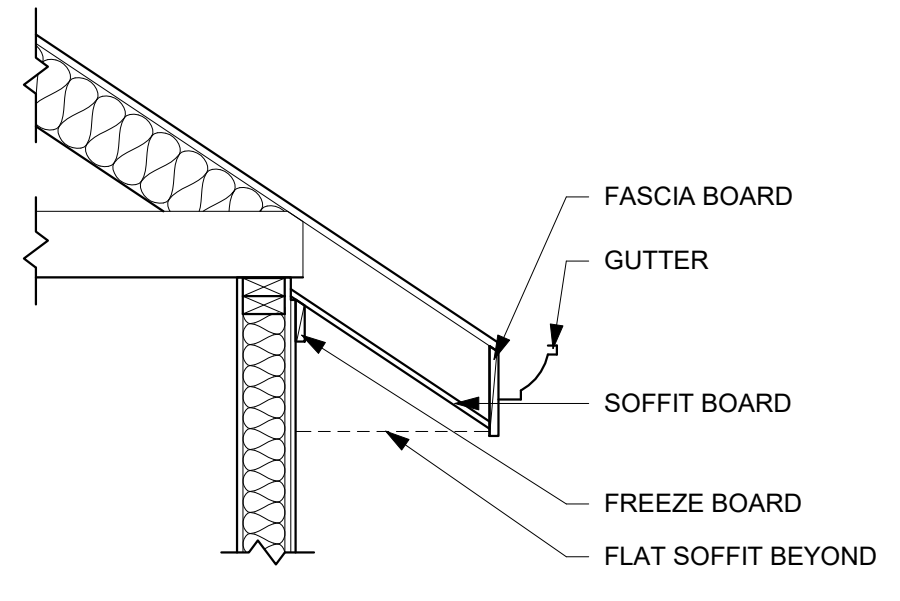
7 TYPICAL DRYER VENT DETAIL
1/2" = 1'-0"



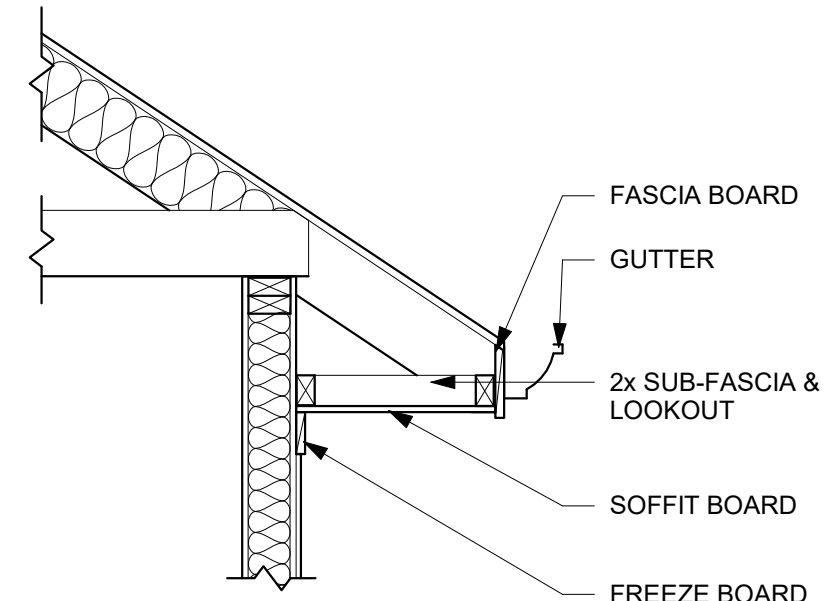
6 TYPICAL STAIRWAY DETAIL
1/2" = 1'-0"



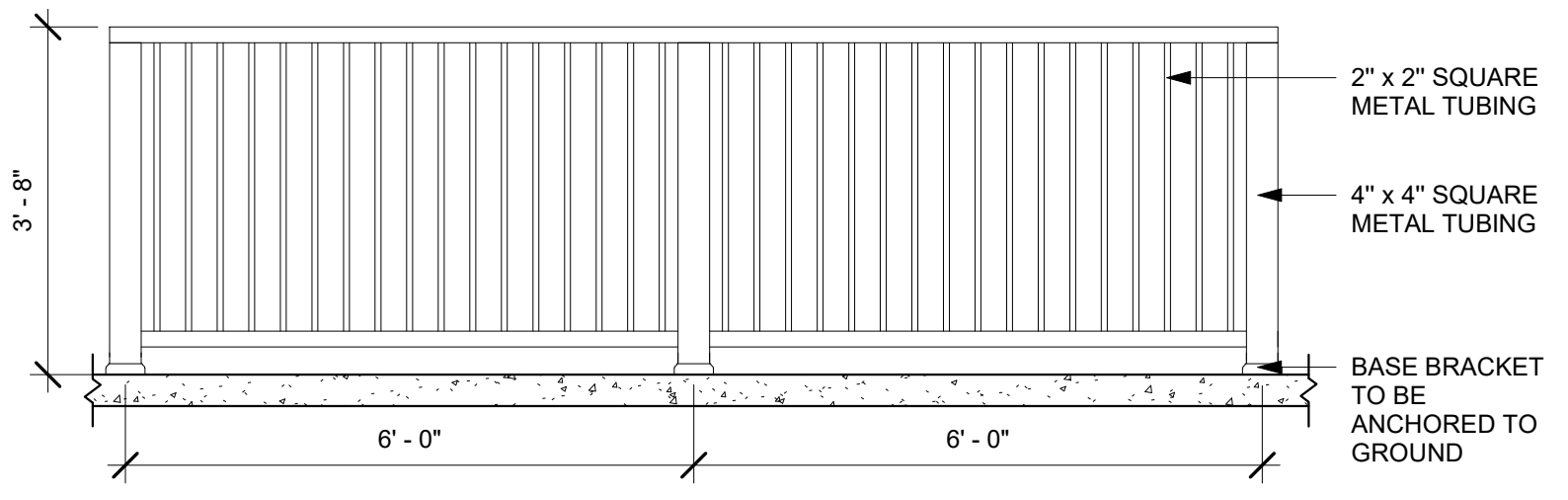
5 TYPICAL AIR COOLED CONDENSING UNIT DETAIL
1/2" = 1'-0"



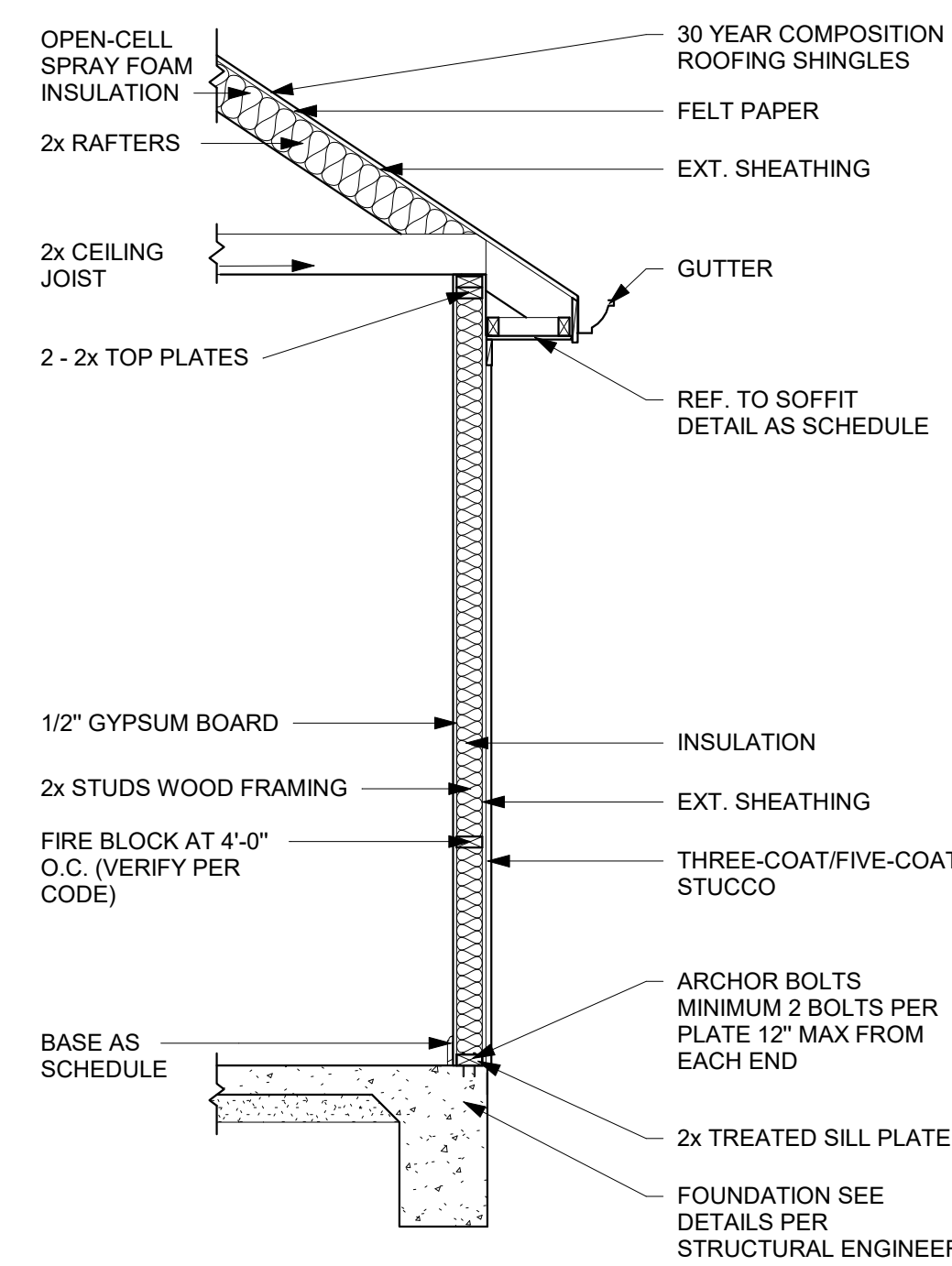
9 TYPICAL OPEN SOFFIT DETAIL
3/4" = 1'-0"



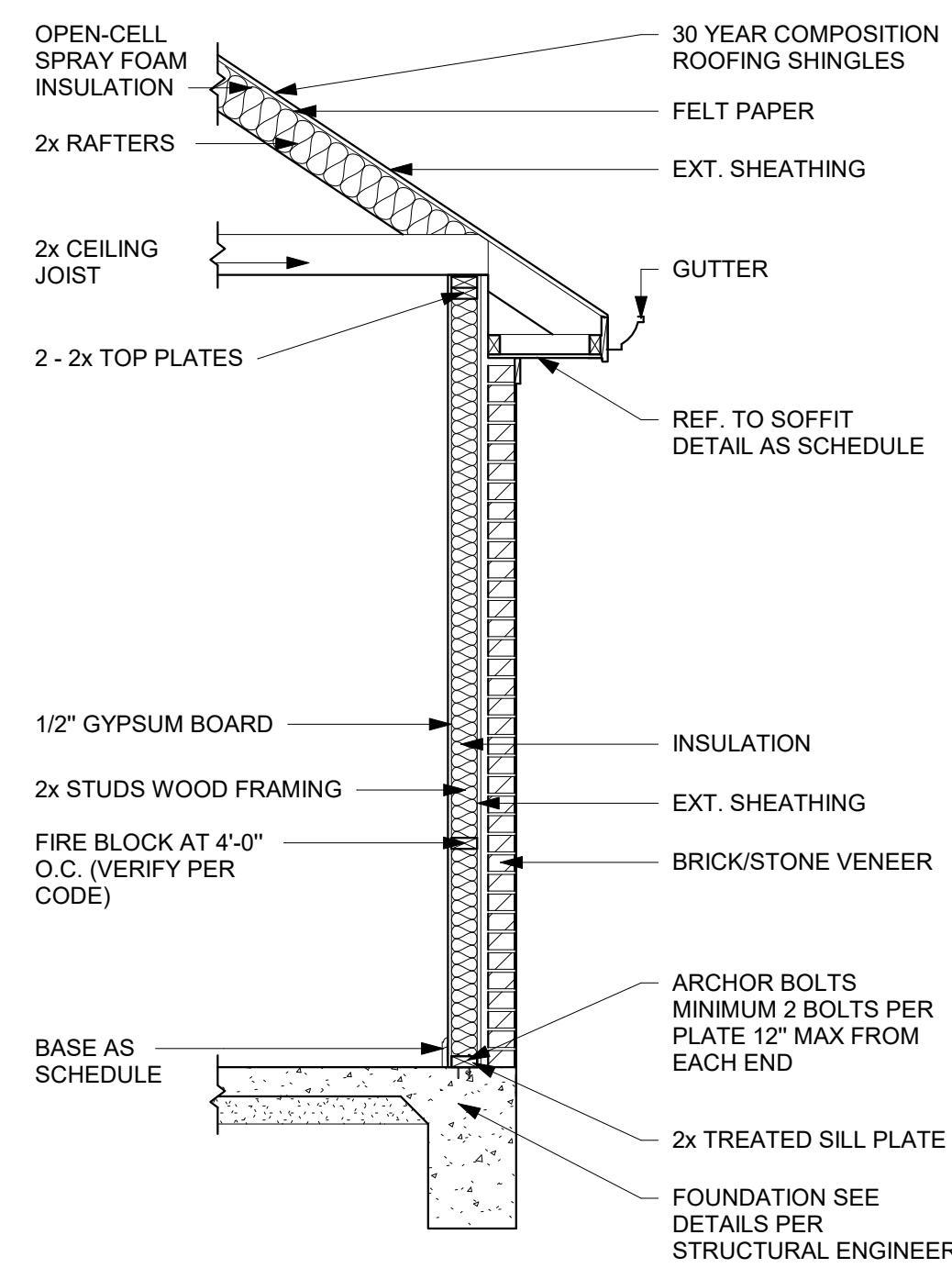
8 TYPICAL FLAT SOFFIT DETAIL
3/4" = 1'-0"



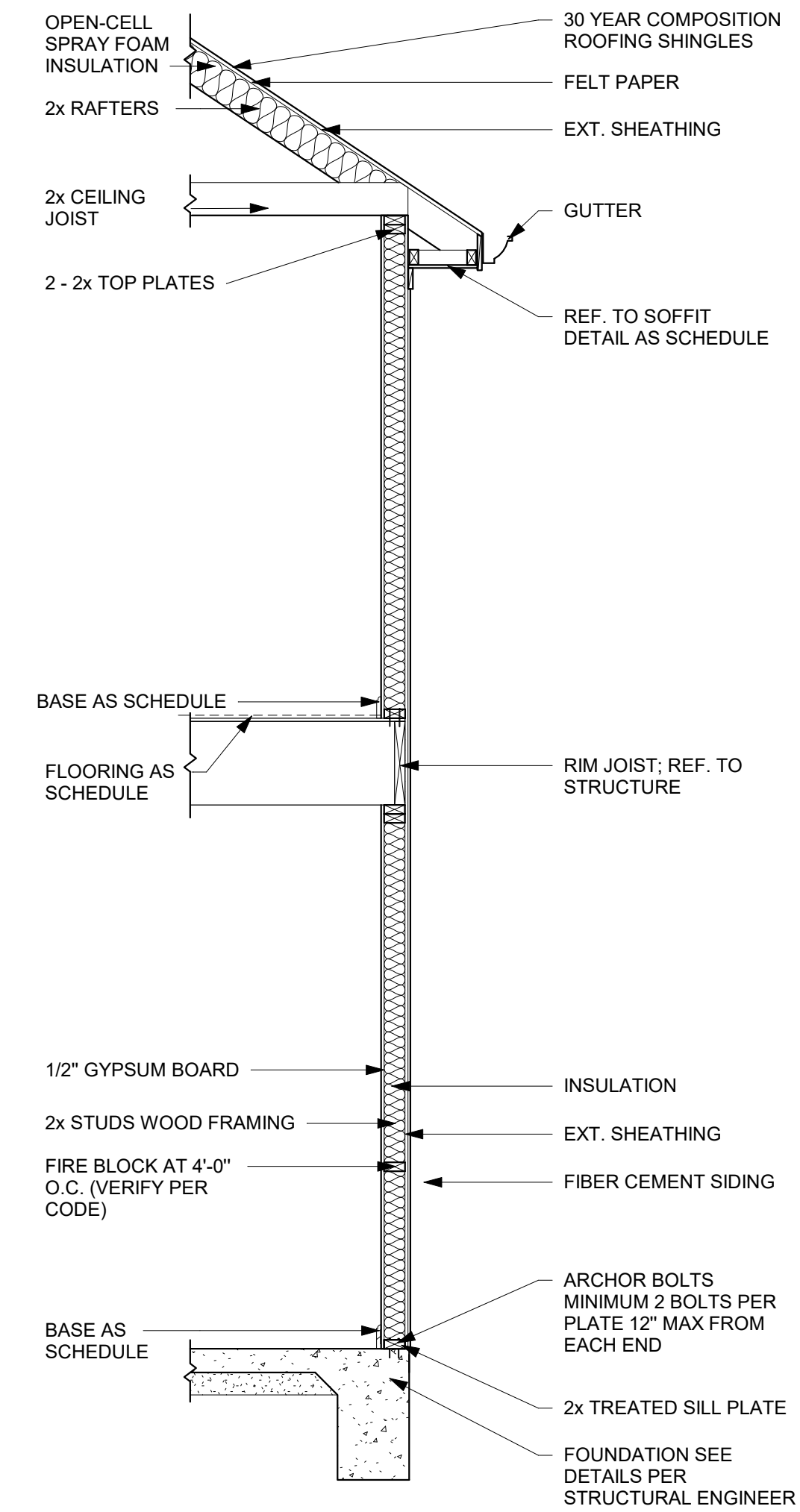
4 TYPICAL RAILING DETAIL
1/2" = 1'-0"



3 TYPICAL STUCCO WELL SECTION
1/2" = 1'-0"



2 TYPICAL BRICK/STONE WALL SECTION
1/2" = 1'-0"



1 TYPICAL SIDING WALL SECTION
1/2" = 1'-0"

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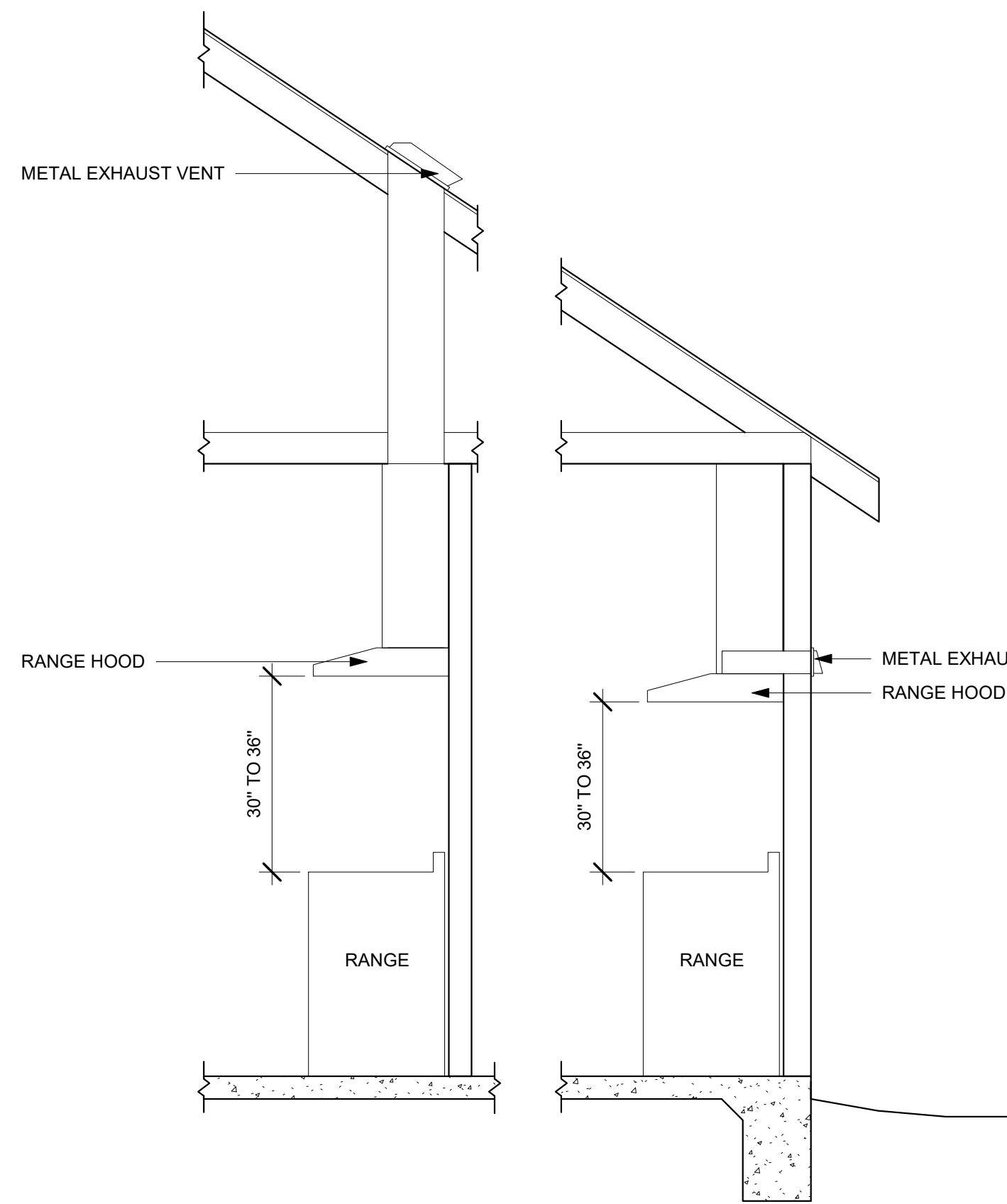
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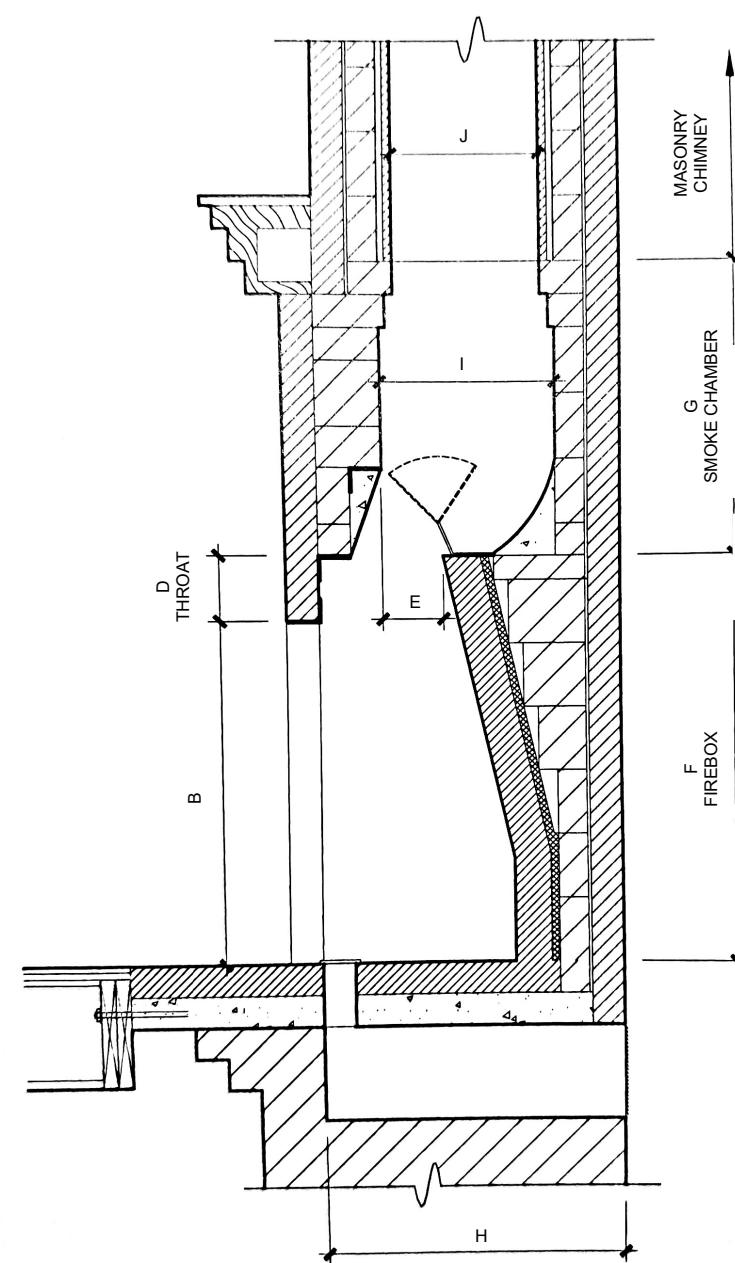
04/12/2023

Title
TYPICAL DETAILS

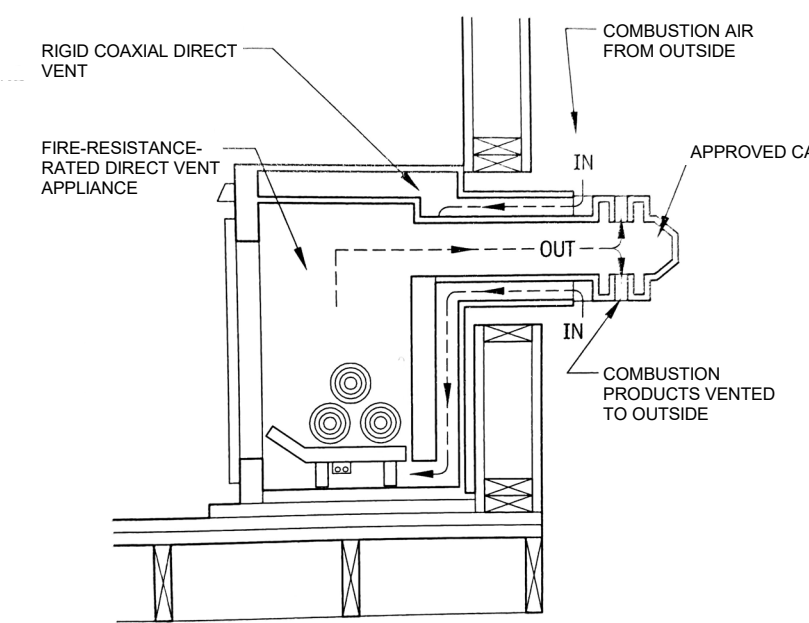
Sheet
A-401



5 TYPICAL KITCHEN VENT
1/2" = 1'-0"



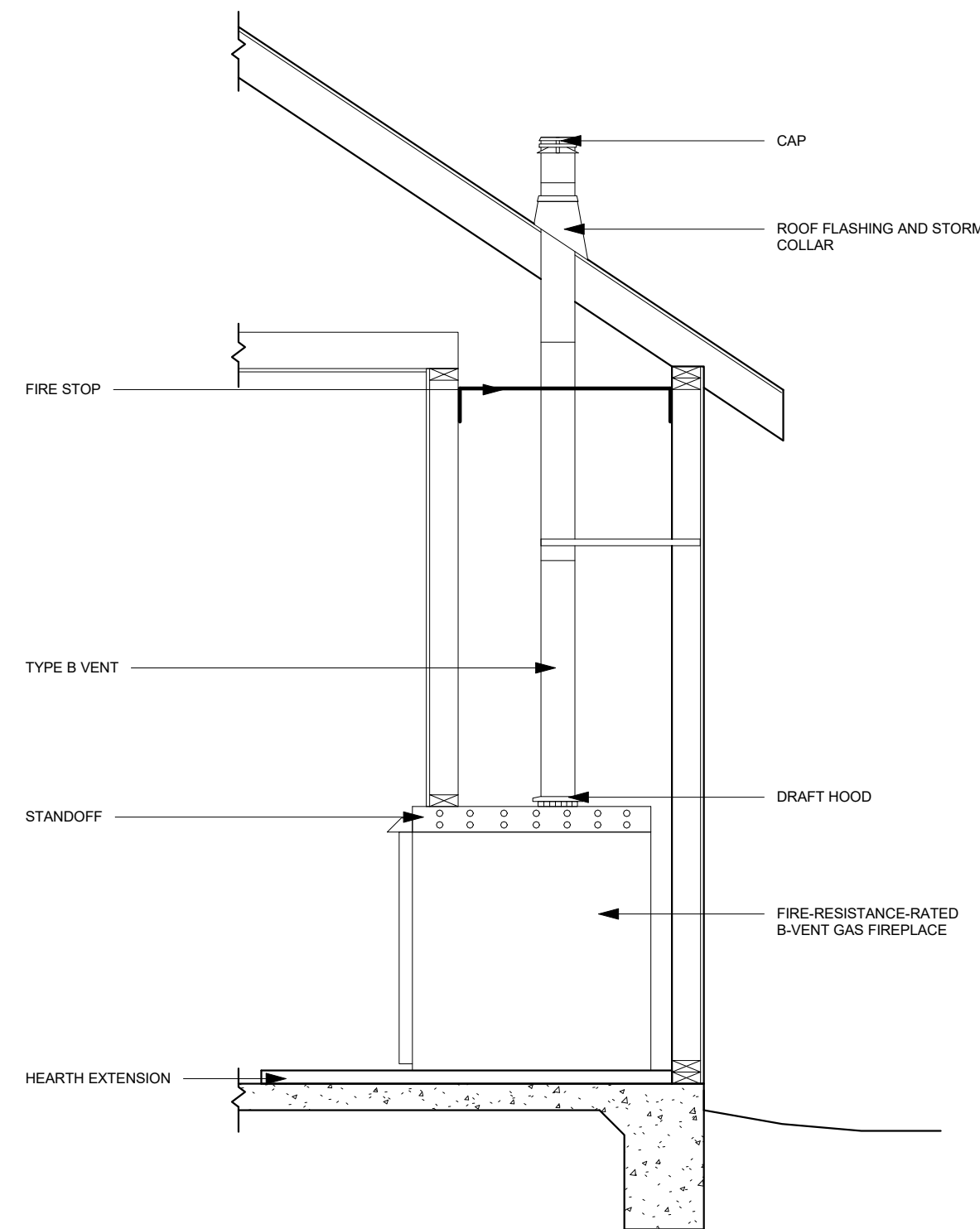
4 TYPICAL MASONRY FIREPLACE SECTION
1/2" = 1'-0"



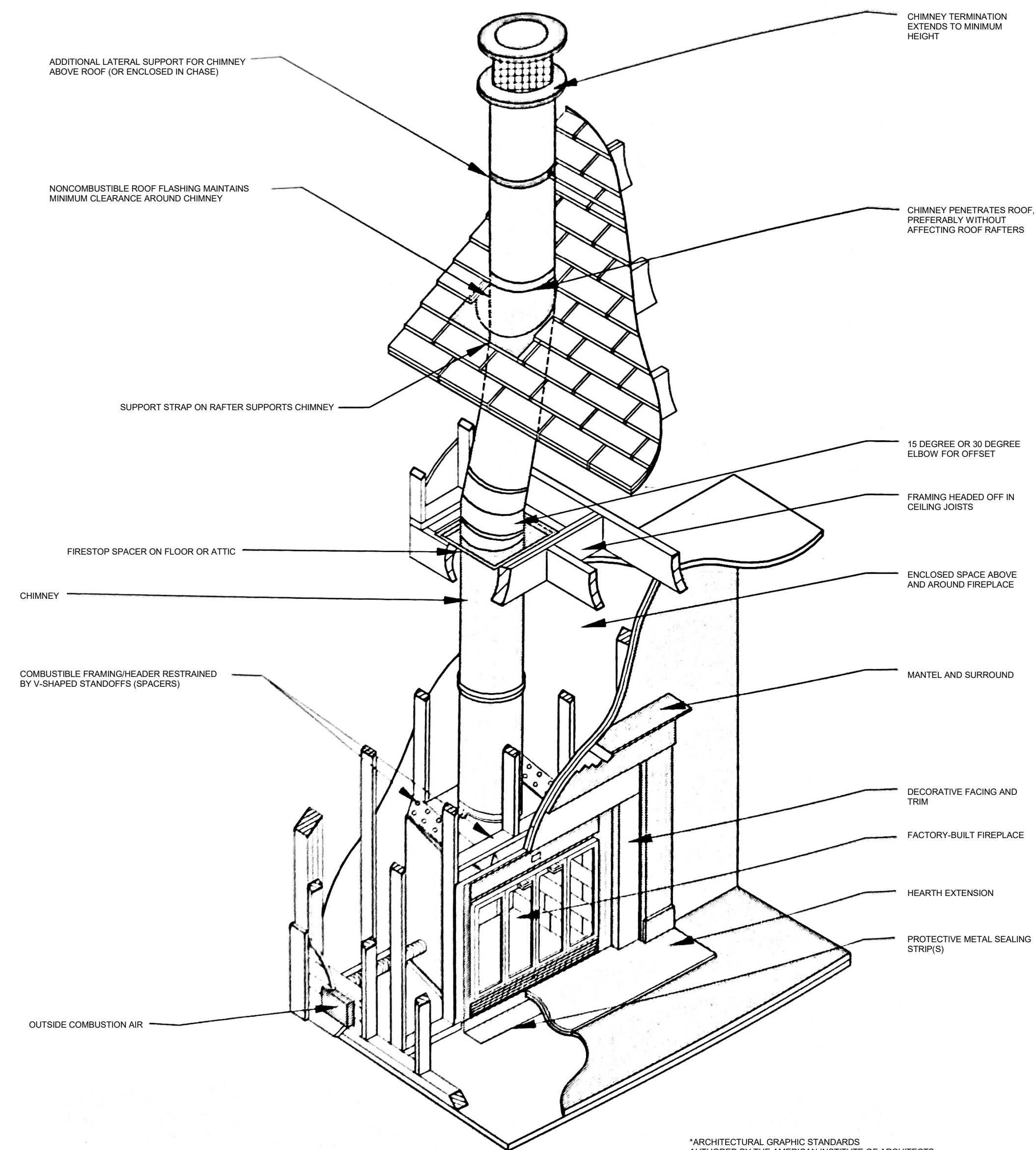
SOLID-FUEL APPLIANCES

Unlisted appliances should be installed according to the provisions of NFPA 211. Acceptable floor protection materials and minimum size for these stoves are generally specified by the manufacturer; if they are not follow NFPA 211 or local code requirements.

3 TYPICAL GAS FIREPLACE HORIZONTAL
1/2" = 1'-0"



2 TYPICAL GAS VERTICAL FIREPLACE
1/2" = 1'-0"



1 TYPICAL WOOD FIREPLACE
1/2" = 1'-0"

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Title
TYPICAL DETAILS

Sheet
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