

LEGEND

○	Property Corner Symbol
—	Right-of-Way
—	Steel Pipe
—	Utility Easement
—	Utility Pole
—	Telephone
—	Right-of-Way
—	Point of Beginning
—	Centerline
—	Drainage Flow
—	Spot Elevations
—	Building Line
—	Water Line
—	Water Meter
—	Sewer Manhole
—	Cleanout
—	Fire Hydrant
—	Water Valve
—	Drainage & Utility Easmt

LEGEND

—	Wire Fence
—	Wood Fence
—	Iron Fence
—	Chain Link Fence
—	Cable TV
—	Gas Line
—	Petroleum Pipeline
—	Electric Line
—	Sanitary Sewer Line
—	Water Line
—	Underground Telephone
—	Telephone

Planned Development Zoning (PD-42)
MIDTOWNE MIDLOTHIAN, LLC
 29.000 Acre Portion of 80.702 Acres
 Vol. 2281, Pg. 419 OPRECT

STATE OF TEXAS,
 COUNTY OF ELLIS: KNOW ALL MEN BY THESE PRESENTS:

WHEREAS WE, Midtowne Midlothian LLC are the OWNERS of that tract being described as follows:

FIELD NOTES
 9.972 Acres

BEING all that certain lot, tract or parcel of land situated in the B.F. Hawkins Survey, Abstract No. 464, and in the W. Hawkins Survey, Abstract No. 465 in the City of Midlothian, in Ellis County, Texas, and being a portion of the residual of a called 20,000 acres tract of land conveyed to Midtowne Midlothian LLC by deed recorded in Volume 2281, Page 427, Official Public Records, Ellis County, Texas (OPRECT), and being a portion of the residual of a called 80.702 acres tract conveyed to Midtowne Midlothian LLC by deed recorded in Volume 2281, Page 419, OPRECT, and being more particularly described as follows:

BEGINNING at a 1/2" steel rod set in the east line of said 20,000 acres tract, and in the west line of S. 14th Street (A 90' R.O.W.), for the southeast corner of this tract, from which point the southeast corner of said 20,000 acres tract bears: S 00°47'21" E 501.21', with the bearing basis for this description from GPS Observation, Texas Co-Ordinate System, North Central Zone, and having a beginning co-ordinate of: Northing = 8858064.894, Easting = 2434858.701;

THENCE through said 20,000 acres tract South 89°00'00" West along the south line of this tract, at approximately 394.26 feet passing the west line of said 20,000 acres tract and the east line of said 80.702 acres tract, and continuing a total distance of 844.24 feet to a 1/2" steel rod set for the southwest corner of this tract, said point also being the southeast corner of Midtowne Phase 5, an addition to the City of Midlothian, in Ellis County, Texas, according to the plat thereof as recorded in Cabinet 1, Slide 104, Plat Records, Ellis County, Texas (PRECT);

THENCE North 01°00'00" West, 332.20 feet along the west line of this tract and along the east line of said Midtowne Phase 5 to a 1/2" steel rod set for a northeast corner of this tract, and being in the east line of said Midtowne Phase 5, and being a southwest corner of Midtowne Phase 7, and addition to the City of Midlothian, in Ellis County, Texas, according to the plat thereof as recorded in Cabinet 1, Slide 492, PRECT;

THENCE North 89°00'00" East, 50.00 feet along a north line of this tract and a south line of Midtowne, Phase 7 to a 1/2" steel rod set for corner, said point being at the beginning of a curve oriented clockwise;

THENCE along the arc of said curve 31.42 feet (Radius=20.00'; Long Chord=N 44°00'00" E, 28.28') along a northwest line of this tract and along a southeast line of said Midtowne Phase 7 to a 1/2" steel rod set for corner;

THENCE North 89°00'00" East, 12.37 feet along a north line of this tract and along a south line of said Midtowne Phase 7 to a 1/2" steel rod set for corner, said point being at the beginning of a curve oriented counter-clockwise;

THENCE along the arc of said curve 240.60 feet (Radius=660.00'; Long Chord=N 68°55'57" E 239.27') along a northwest line of this tract and along a southeast line of said Midtowne Phase 7 to a 1/2" steel rod set for corner;

THENCE North 58°29'21" East, along a northwest line of this tract and along a southeast line of said Midtowne Phase 7, at approximately 73.95 feet passing the west line of said 80.702 acres tract and entering said 20,000 acres tract, and continuing a total distance of 163.96 feet to a 1/2" steel rod set for corner, point being at the beginning of a curve oriented clockwise;

THENCE along the arc of said curve 240.00 feet (Radius=240.00'; Long Chord=N 61°38'03" E, 26.33') along a northwest line of this tract and along a southeast line of said Midtowne Phase 7 to a 1/2" steel rod set for corner, said point being at the beginning of a curve oriented clockwise;

THENCE along the arc of said curve 31.36 feet (Radius=20.00'; Long Chord=S 70°18'08" E, 28.24') along a north line of this tract and along a south line of said Midtowne Phase 7 to a 1/2" steel rod set for corner;

THENCE South 25°23'01" East, 6.01 feet along a northeast line of this tract and along a southwest line of said Midtowne Phase 7 to a 1/2" steel rod set for an inner all corner of this tract, and being a south corner of said Midtowne Phase 7;

THENCE North 64°36'59" East, 50.00 feet along a northwest corner of this tract and a southeast line of said Midtowne Phase 7 to a 1/2" steel rod set for an inset corner of this tract, and being a southerly east corner of said Midtowne Phase 7;

THENCE North 25°23'01" West, 71.58 feet along a southwest line of this tract and along a northeast line of said Midtowne Phase 7 to a 1/2" steel rod set for corner, said point being at the beginning of a curve oriented clockwise;

THENCE along the arc of said curve 38.40 feet (Radius=275.00'; Long Chord=N 21°23'01" W, 38.37') along a southwest line of this tract and along a northeast line of said Midtowne, Phase 7 to a 1/2" steel rod set for corner;

THENCE North 17°23'01" West, 33.07 feet along a southwest line of this tract and along a northeast line of said Midtowne Phase 7 to a 1/2" steel rod set for a west corner of this tract;

THENCE North 30°00'57" East, 13.53 feet along a northwest line of this tract and along a southeast line of said Midtowne Phase 7 to a 1/2" steel rod set for a northwest corner of this tract, and being at the beginning of a curve oriented clockwise;

THENCE along the arc of said curve 70.98 feet (Radius=375.00'; Long Chord=N 83°46'29" E, 70.87') along a north line of this tract and along a south line of said Midtowne Phase 7 to a 1/2" steel rod set for corner;

Preliminary Plat
 MIDTOWNE, PHASE 9

- Subdivision Data:
- Total Acreage: 10.011 Acres
 - Total Lots: 38
 - Minimum Lot Size: 4,305 sq.ft.
 - Average Lot Size: 6,000 sq.ft.
 - Water shall be provided by the City of Midlothian.
 - Sanitary sewer shall be provided by the City of Midlothian.
 - Easement lines:
 - No building shall be constructed until the Final Plat is accepted and filed.

PLANNING DIRECTOR
 Approved: _____

CITY OF MIDLOTHIAN
 ELLIS COUNTY, TEXAS

By: _____, PLANNING DIRECTOR

Attest: _____, PLANNING ASSISTANT

Approved: _____, CITY ENGINEER

KNOW ALL MEN BY THESE PRESENTS:

That I, James H. McDill, do hereby declare that I prepared this plat from an actual and accurate survey of the land and in accordance with the Subdivision Ordinance of the City of Midlothian.

7-6-2021
 Registered Professional Engineer

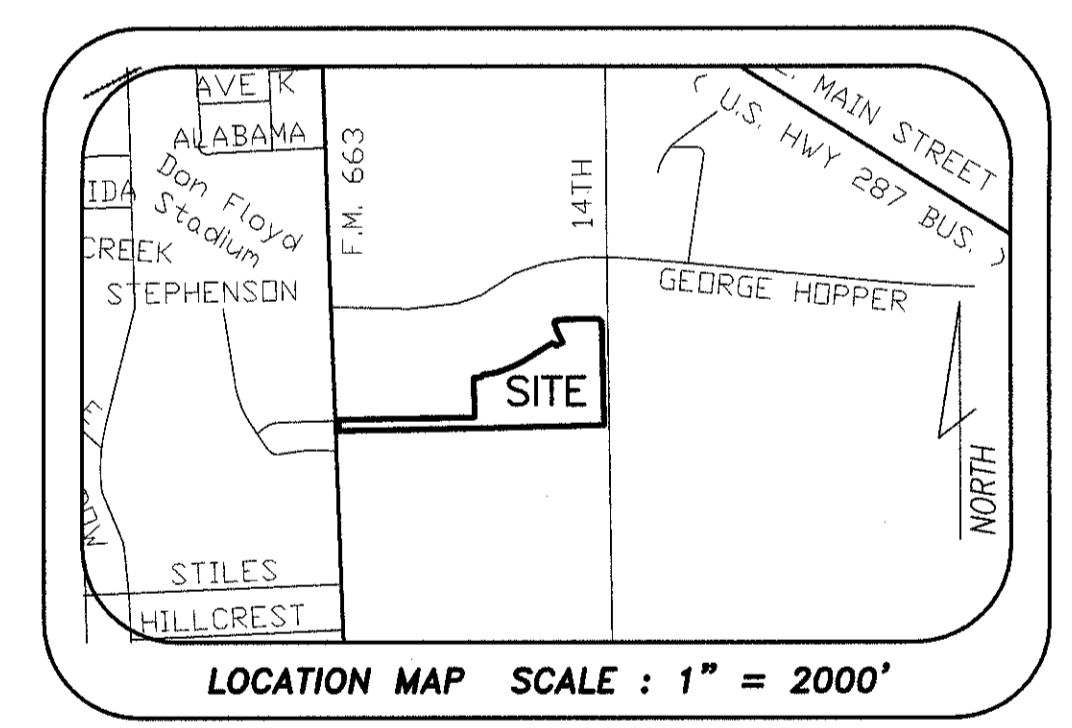
GENERAL NOTES:

- MINIMUM FINISH FLOOR ELEVATIONS SHALL BE PROVIDED AT FINAL PLAT AND CONSTRUCTION PLAN STAGE.
- ALL RUNOFF SHALL BE ROUTED THROUGH DEDICATED DRAINAGE EASEMENTS AFTER CONSTRUCTION PLANS ARE PREPARED.

Owner/Developer:
 Midtowne Midlothian LLC
 134 N. Main Street
 Duncanville, Texas 75116
 Phone: 972-283-1111

THE BUILDING SETBACKS ARE NOT ESTABLISHED BY THIS PLAT.
 THE CURRENT ZONING DISTRICT GOVERNS AND ESTABLISHES
 THE SETBACKS FOR THIS PROPERTY.

- GENERAL NOTES:**
- 100 YEAR FLOOD NOTE:
 NO 100 YEAR FLOODPLAIN PER FIRM MAP # 48139C0155F DATED JUNE 3, 2013
 PROPERTY IS IN ZONE X UNSHADED
 - DRAINAGE NOTE:
 PERMANENT FENCING SHALL NOT BE ALLOWED WITHIN DRAINAGE EASEMENTS



Owner's Dedication

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That We, Midtowne Midlothian LLC are the owners of all the following described tract of land herein proposed as the PRELIMINARY PLAT OF PHASE ONE OF THE SHOPS OF MAIN, an addition to the City of Midlothian, Ellis County, Texas, and do hereby dedicate to the public use forever, the streets and easements shown hereon. The easements are hereby reserved for the purposes indicated. No permanent structures (buildings, fences, trees, shrubs, or paving) shall be constructed or placed upon, over or across said easements as shown, except with the written permission of the City of Midlothian, Texas. Said easements being hereby reserved for the mutual use and accommodation of all public utilities. All and any public utility shall have the full right and privilege to remove and keep removed all or any parts of any buildings, fences, trees, shrubs, paving or other improvements or growths which may in any way endanger or interfere with the construction, maintenance or efficiency of its respective utility system located within the easement, and all public utilities shall at all times have the full right of ingress and egress to or from and upon said easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding or removing all or part of its respective system without the necessity at any time of procuring the permission of anyone. The reconstruction, relocation, or other replacement of any buildings, fences, trees, shrubs, paving or other improvements or growths within such easements shall incur no responsibility or liability to the City of Midlothian, Texas. (Any public utility shall have the right of ingress and egress to private property for the purpose of reading meters and any maintenance and service required or ordinarily performed by that utility.) There will be no permanent structures (buildings, fences, trees, shrubs, paving or other improvements or growths) or obstructions built, placed or planted within the 100 year flood plain designated as Floodway Easement. The maintenance of all easements shown hereon shall be the responsibility of the property owners. This plat approved subject to all plotting ordinances, rules, and regulations of the City of Midlothian, Texas.

WITNESS my hand at _____ Texas, this the _____ day of _____, 2021.

Midtowne Midlothian LLC

PRELIMINARY PLAT
MIDTOWNE PHASE 9
 10.011 Acres out of the
B.F. HAWKINS SURVEY, ABST.-464
W. HAWKINS SURVEY, ABST.-465
 An addition to the City of Midlothian,
 Ellis County, Texas
APRIL 2021

Sheet 2 of 2 sheets

Drawn: DMM/PM
 219-0024-BASE
 JOB: PLM-PLAT

Date: 04-15-2021
 Scale: 1"=50'

Sheet 2 of 2 sheets

D&M DAVIS & McDILL, Inc.
 (A Texas licensed engineering firm # F-8439)
 P.O. BOX 428, Waxahachie, Texas 75168
 Phone: Metro 972-938-1185

REVISIONS BY